

SYON GARDENS HOMEBASE BRENTFORD SITE, TW7 5QE DAS ADDENDUM

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Title	
DAS Addendum	

Project	
Syon Lane	

Status	
For planning	

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1.0 Introduction

1.1 History of planning

- 1.1.1 This report is submitted as an addendum to the planning application reference P/2020/3099 submitted in September 2020.
- 1.1.2 This reports describes the changes made to the Design and Access statement and accompanying drawings as a result of the feedback received from L.B. of Hounslow and GLA.
- 1.1.3 Specifically these changes required result in the following amendments to the consented design:
- Changes to the facade treatment of B2 & B3 in order to present a more visually cohesive facade to Great West Road. The principle behind the changes is to establish a clear horizontal and vertical order that both articulates the building and relates to B1. In terms of materials, the proposal is to combine a mixture of light, medium and dark brown bricks to differentiate the taller elements from the recessed ones and the base. This change will create a more subtle material palette for the whole scheme and therefore more visually pleasing. Changes also to the lower ground floor and ground floor along the north eastern facade to provide more active frontage and introduce additional glazed areas and back lit sections to animate it
 - Addition of perforated metal dividing screens to balconies to improve privacy
 - Changes to the ground floor of block C to provide minimum 3m walkway along Syon Gate Way and the walls at the entrance to service yard have been chamfered to improve inter-visibility and safety for pedestrians. All of these measures have derived in an improved Clean Air Route
 - Changes on lower ground floor along Syon Gate Way to relocate entrance to basement car park further away from B3 entrance lobby
 - Changes to the location of refuse stores to remove presentation area and improve the public realm quality for the residents and pedestrians
 - Changes to B2 on level 04 to replace a 3B5P Part M4(2) home with a 3B4P Part M4(3) home

Figure 1: Image of a yellowy grey square

2.0 Revised information

As a result of the changes described in Section 1.0 a few pages of the DAS had to be revised together with some of the general arrangement plans, section and elevations

6.0 Scale and appearance

6.2 Scale, townscape and heritage

- 6.2.1 Section 2 of this Design and Access Statement assesses the role of the site in the local townscape. The assessment concludes that site has an urban role to emphasise the significance of its location by the Gillette Corner and Syon Lane Station.
- 6.2.2 The proposed scheme will foster a process of placemaking that will help to create a more favourable and respectful context for the heritage assets in the vicinity of the site. This is achieved by the better occupation of the site, both physically and in terms of use, and by creating a landmark that assists in locating the site.
- 6.2.3 The development has been sensitively designed recognising the heritage context of the site. It includes a variety of listed buildings, such as the Gillette Building (Grade II) and the Syon Clinic (Grade II), as well as registered landscapes, such as Osterley Park (Grade II*) and Syon Park (Grade I). The impact of the proposed scheme on these heritage assets has been tested through a wide range of view points, including from within Osterley Park and Syon Park.
- 6.2.4 Figure 5.8 to Figure 5.9 illustrate how the proposed scheme integrate within the local townscape and the listed buildings in the vicinity.
- 6.2.5 The townscape setting of the listed buildings in the vicinity of the site remains largely unaffected. Whilst the scale of the proposed development is greater than the scale of the listed buildings, their townscape setting does not rely on a specific scale on the site. The massing of the proposed scheme has been arranged to ensure that listed buildings, such as the Gillette Factory clock tower, are still visible features along the Great West Road.
- 6.2.6 The proposed development will change the setting of heritage assets in the local context because of its visibility and presence. The heritage value of the buildings does not rely on an unchanged setting and is not necessarily harmed by the presence of new development. Furthermore, there are several townscape and placemaking benefits in the visibility of new development, such as defining the urban block and creating natural surveillance.



Figure 6.6: Verified view of the proposed scheme from Syon Lane station looking north



Figure 6.8: Verified view of the proposed scheme from Syon Lane station looking south



Figure 6.7: Verified view of the proposed scheme from the Great West Road looking south



Figure 6.9: Verified view of the proposed scheme from Northumberland Avenue looking north

6.0 Scale and appearance

6.8 Building B2B3 appearance

Facade articulation

6.8.1 Buildings B2 and B3 has been articulated to create an interesting skyline and avoid a wall effect on views along the Great West Road:

- Buildings are articulated in different brick materials to break down the scale of the building (Figure 5.71).
- Massing is articulated with indents to create dual aspect and hold the balconies (Figure 5.72).
- White brick framing the massing (Figure 5.73).
- Horizontal bands of white brick and white balcony fascias articulating the horizontal elements of B23 (Figure 5.74).
- Secondary façades are clad in beige brick while tower and protruding elements are clad in buff brick (Figure 5.75).
- A darker brick treatment on the base, to enhance the horizontality of the podium.

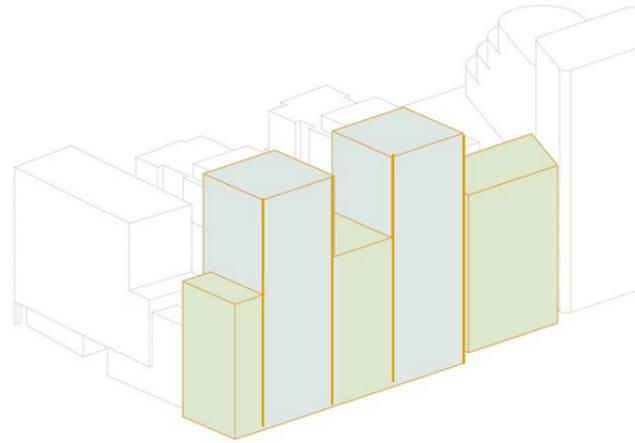


Figure 6.71: Building B2B3 treated as a horizontal plinth with rising towers.

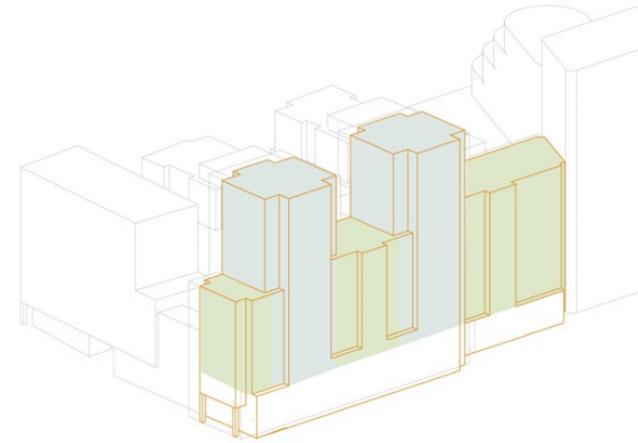


Figure 6.72: Building B2B3 massing articulation to achieve dual aspect

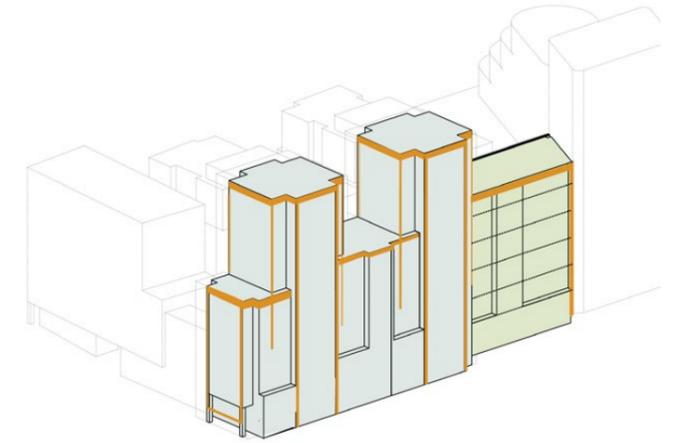


Figure 6.73: Building B2B3 articulation - Framing the blocks

6.8.2 Following a series of workshops with LBH and the GLA, buildings B2 and B3 have been redefined, to address the comments raised by the planners. We have experimented with numerous design alterations, looking at different options. We believe the proposed facade adopts a much more cohesive result; by changing the type of brick used on blocks B2B3, incorporating additional white brick bands to carry on the horizontality principles of block B1 and creating a play of depth, by using complementary tones of brick. Opting for a more neutral material palette which is inspired by Blocks C, D and E, the North East elevation of the development now aspires to tie all of the buildings together. In addition, we have attempted to increase the amount of active frontages at ground level, by incorporating additional glazing throughout blocks B2 and B3.

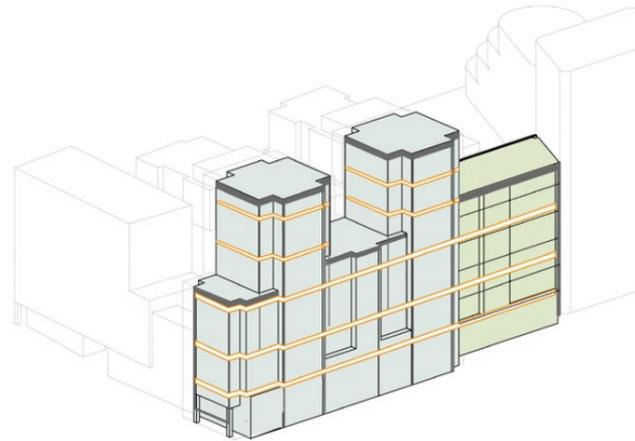


Figure 6.74: Building B2B3 articulation - Primary horizontal banding

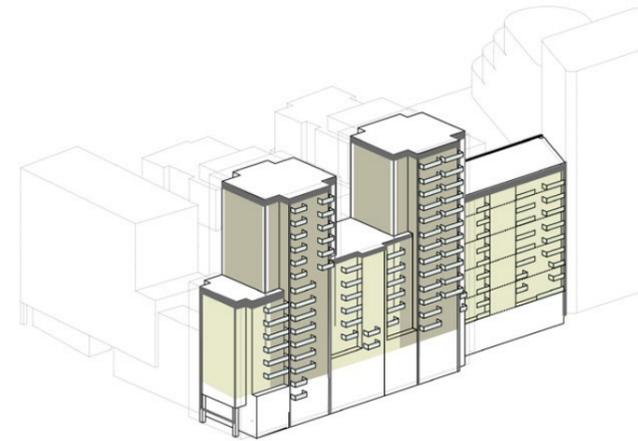


Figure 6.75: Building B2B3 articulation - Taller tower elements have a different facade treatment, to plinth elements.

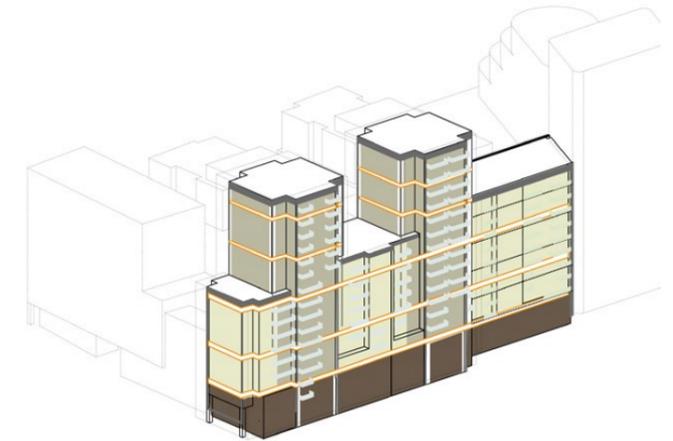


Figure 6.76: Building B2B3 articulation - A darker brick treatment to the base to celebrate horizontality.