

\*THIS IS NOT A CIRCULAR\* IMPORTANT LOCAL INFORMATION

# MANHATTAN COMES TO OSTERLEY!

OWGRA Newsletter (Tesco & Homebase Redevelopment) July 2020, Issue No. 1



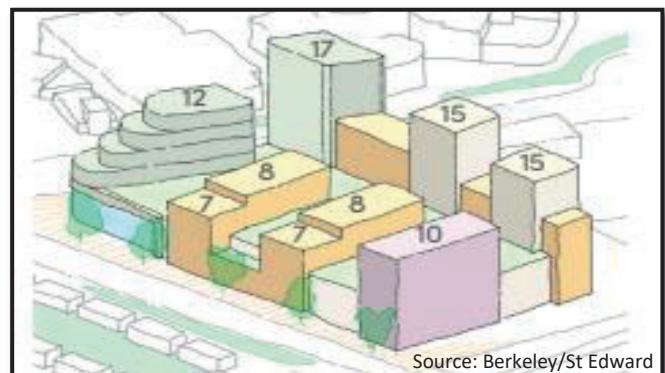
Planning applications about to be submitted by Berkeley/St Edward for **major redevelopment** of the Tesco and Homebase sites on Syon Lane at Gillette Corner, to build **2,150 homes** mainly in tower blocks of up to **17 storeys!**

Current revised plans from the developer show very little change to the original plans shown at public exhibitions in October 2019 and at the end of February 2020.

If you want to maintain the pleasant **green suburban nature** and character of Osterley and not turn it into a Manhattan of tower blocks, then get ready to object, but **DON'T OBJECT YET!** We will let you know when and how to do that, so keep your eye on our website [www.owgra.org.uk](http://www.owgra.org.uk)

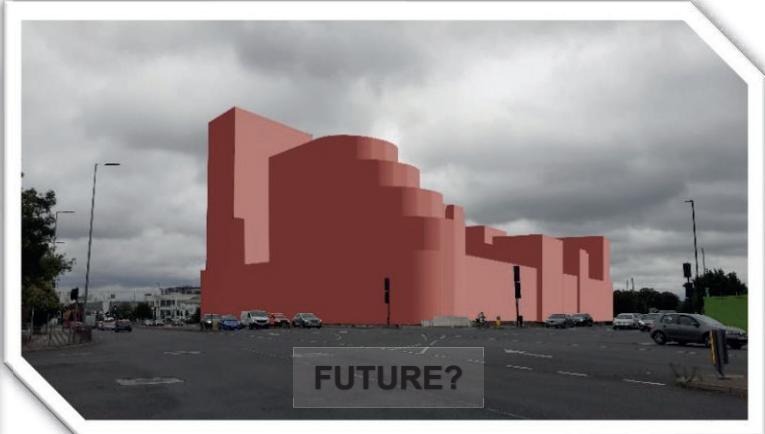
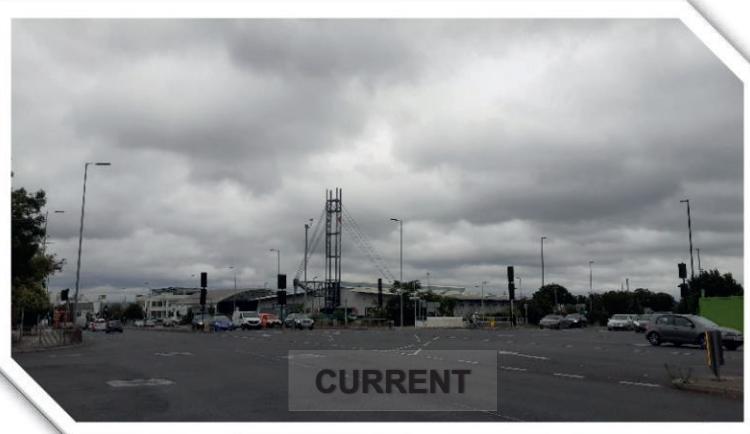
## PLANS FOR THE CURRENT HOMEBASE SITE

Tesco would move to the current Homebase site with reduced car parking and flats above the store, and include a number of blocks of flats fronting the A4 and Syon Lane and on the whole site. A total of 480 housing units are proposed, with tower blocks ranging from 8 to 17 storeys (Gillette is 4 & clock tower 6 storeys high). Parking for the new Tesco store would be on 2 levels above the store.

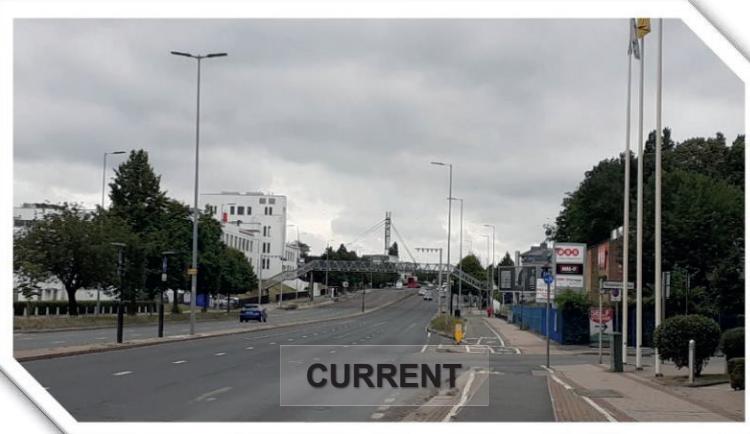


Source: Berkeley/St Edward

## VIEW FROM SHELL GARAGE, GILLETTE CORNER



## VIEW FROM GSK, GREAT WEST ROAD



## PLANS FOR THE CURRENT TESCO SITE

The Tesco site would be redeveloped to include 1670 housing units, mainly flats in tower blocks ranging up to 17 storeys, and a token few town houses.



## TIMINGS

If this development was allowed to go ahead it would take about 10 years to complete. The construction process would be:

Homebase site vacated and demolished



New Tesco store and flats built on Homebase site



Current Tesco store demolished and housing estate built

The petrol station at the current Tesco site would continue to operate at the current site for about 7 years, but there will be no petrol station at the new store.

Residents are horrified at the plans and OWGRA is preparing to object strongly to the planning applications. We feel that the developer has totally ignored our views during the consultation period, and that the consultation process has merely been a box-ticking exercise for the developer.

## CONSULTATION PROCESS

The developer has been talking to us since last autumn but not listening to us. We have written to them on numerous occasions stating what we think the area needs. These letters can be found on our website.

## HEALTHY, HAPPY LIVING IN OSTERLEY IN THE 21<sup>ST</sup> CENTURY

We accept the fact that the 2 sites need to be redeveloped but what we need is family homes, not small flats. The Grenfell tower tragedy and the current COVID-19 pandemic have shown that tower blocks with small flats are not what is required for healthy living now and in the future, irrespective of social or private use. With more people working from home, more space is needed, with easy access to unpolluted gardens and green spaces. For that reason, we believe that we need a mix of plenty of houses of 2-3 storeys and a mix of spacious flats of no more than 6-storeys.

## TRANSPORT AND TRAFFIC

The area is not well served by public transport. The huge hole in TfL's budget as a result of the COVID-19 pandemic means that it continues to be highly unlikely that the proposed Southall Rail Link (from a new Golden Mile station close to the SKY complex to Southall along the old Brunel line) will be built any time soon. The same goes for the West London Orbital link connecting the Hounslow line to the Overground at South Acton and beyond. There are no firm plans either for upgrading train services from Syon Lane to Waterloo.

Gillette Corner has already been operating above capacity for a number of years and will continue to do so for the foreseeable future (just wait until schools go back in September, especially when car use will increase as a result of fear of using public transport while COVID-19 is still a threat to our health). The right hand turns out of Syon Lane onto the A4 are extremely dangerous. What are the plans to reconfigure that dangerous and overcrowded junction? A roundabout (like that at the Hanger Lane gyratory system), but not enough room? Or an underpass for the A4, which would make the most sense? Again, TfL's dire financial situation will preclude any such improvements. And yet they are needed before there is any increase in the local population.

## HOUSING DENSITY

The information in the table below gives you an idea of how out of character and densely populated the developments on the current Tesco and Homebase sites would be.

Location	Number of homes	Area (hectares)	Density (homes/hectare)
Current Osterley & Spring Grove Ward (minus parkland)	5000	300	17
Proposed Tesco site	1670	4.6	363 !
Proposed Homebase site	480	1.8	267 !
Proposed Tesco + Homebase sites	2150	6.4	336 !

Osterley & Spring Grove ward is a typically suburban area with about 5,000 homes (mainly 2-storey houses). If we exclude all the parkland, the built-up area covers roughly 300 hectares. That means that there are roughly 17 homes per hectare.

If we do the same calculation for the current Tesco and Homebase sites with the proposed number of homes, we get to 363 homes/hectare for the current Tesco site and 267 for the current Homebase site, giving an average density across the two sites of 336 homes/hectare, which is at the top range for an inner city area with excellent public transport links.

This level of density in a suburban area with poor public transport is plainly unacceptable.

You only have to look at what is happening in other parts of our borough eg Hounslow Centre, Feltham, and Brentford near Kew Bridge, to see real and problematic examples of recent local high density developments, with a significantly negative impact on healthy living, quality of life and sustainability.

### OWGRA's objections will focus on:

- Height/massing/density, in relation to existing residential areas and listed Gillette building.
- Out of character with the area (mainly 2-storey houses).
- Overdevelopment (2,150 homes in mainly tower blocks in a suburban area of mainly 2-storey houses), with density of around 300 homes/hectare, compared with 17 currently (see table above).
- The need for decent-sized family homes, not small flats (post COVID-19 pandemic concerns).
- Effect on heritage assets (including the Grade II listed Gillette building between the two sites).
- Inadequate public transport, infrastructure and amenities, with no firm plans to up-grade.
- Traffic (dangerous/over-capacity Gillette Corner junction), much used by ambulances.
- Environmental impact (increased noise, air pollution, carbon emissions & poor sustainability).

### STAY IN TOUCH VIA OWGRA MEMBERSHIP

If you want to keep up to date with local developments like this, then if you are an OWGRA member you will receive a regular e-newsletter. You can join, or renew your subscription if you have not already done so, with the membership form enclosed with this newsletter. If you have been a member before and your details are the same, then why not do it online? Please note that the account name is Osterley & Wyke Green Residents Assoc, and be sure to include a clear reference to your name and/or address. Further details are on the membership form.

If you're not sure whether you are a current member, then e-mail us on [info@owgra.org.uk](mailto:info@owgra.org.uk)

### Osterley & Wyke Green Residents' Association (OWGRA)

130 Wood Lane, Osterley, TW7 5EQ

Tel: 07562 385269

Tel: 07767 826197 (Re Tesco/Homebase development)

Website: [www.owgra.org.uk](http://www.owgra.org.uk)

e-mail: [info@owgra.org.uk](mailto:info@owgra.org.uk)

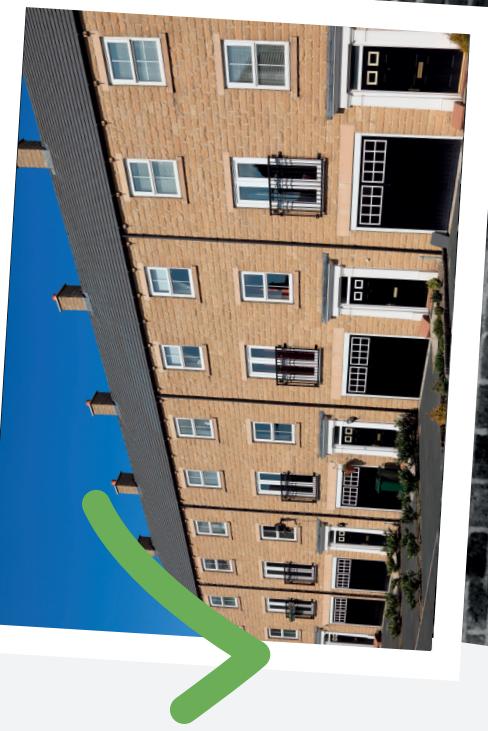
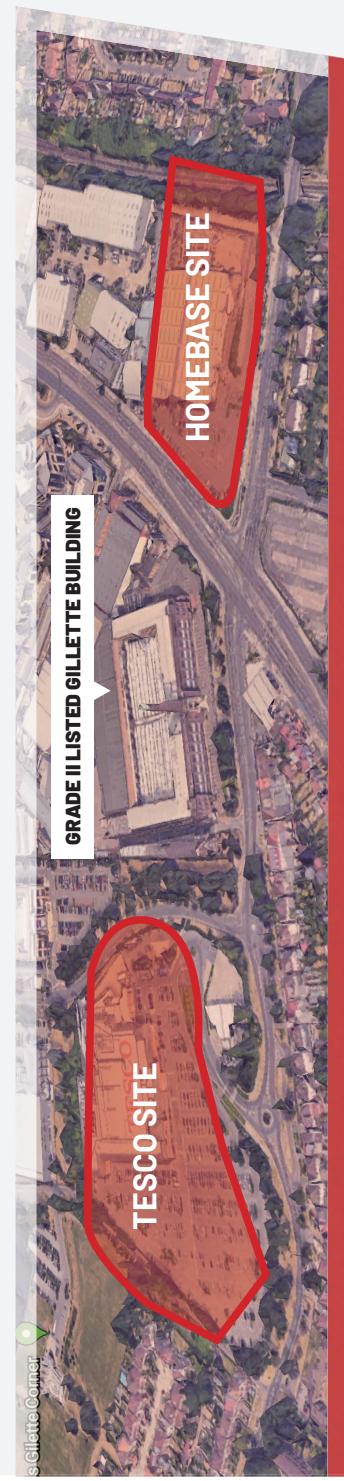
Twitter: @OWGRA

### SHOW YOUR SUPPORT

The final page of this newsletter can be displayed as a [poster in your window](#). If you would like an **A3 version** of this poster please contact [info@owgra.co.uk](mailto:info@owgra.co.uk)

# NO TO TOWER BLOCKS

## AT HOMEBASE & TESCO SITES



**YES TO FAMILY HOMES**

**TOWER BLOCKS**  
UP TO 17 STOREYS  
OVERSHADOW  
GRADE II LISTED  
GILLETTE BUILDING  
OUT OF CHARACTER  
WITH THE AREA  
OVER-DEVELOPMENT  
2,150 MORE ABODES  
INSUFFICIENT INFRASTRUCTURE & AMENITIES

**HOMEBASE SITE**

**TESCO SITE**

**GILLETTE CORNER**

**SCAN ME**

Join our campaign [owgra.org.uk](http://owgra.org.uk)